

RESIDENTIAL ADDITION

Project address:
1726 MISSISSIPPI AVE NE ST PETERSBURG, FL 33703

Legal Description:
SHOREACRES CENTER BLK 10, LOT 4

GENERAL NOTES:

- All work shall conform with the minimum standards of the 8th edition (2023) of the Florida Building Code.
- If needed, individual contractors to provide their own planning and paperwork for permitting approval.
- If needed, contractor shall coordinate with the agency having jurisdiction, any inspection or approvals needed to satisfy permit requirements. Omissions or conflicts between various elements of the drawings, notes, and details shall be brought to the attention of the engineer of record and resolved prior to proceeding with the work. The contractor is responsible for repairing any damage to existing facilities, above or below ground, that may occur as a result of the work performed by the contractor or subcontractors associated to the project.
- Contractor shall exercise extreme caution in areas where utilities are buried by calling sunshine one at 800-432-4770. The contractor is responsible for repairing and contacting all utilities.
- An approved set of plans shall always be maintained on the job site while the permit is active.
- During the construction and/or maintenance of this project, all safety regulations are to be enforced. The contractor or his representative shall perform the work following the guidelines set forth by the latest OSHA regulations.
- Locations, elevations, and dimensions of existing fixtures, structures and other features are shown according to the best information available at the time of preparation of these plans. The contractor shall verify the locations, elevations, and dimensions of all existing fixtures, structures, and other features affecting this work, prior to construction.

DESIGN CRITERIA

CONTRACTOR	TBD
BASIC WIND SPEED	160 MPH
RISK CATEGORY	III
EXPOSURE CATEGORY	B
ZONING	NSE - SUBURBAN SINGLE-FAMILY
AGENCY JURISDICTION	CITY OF ST PETERSBURG - BUILDING DEPARTMENT
FIRE SPRINKLERS ON SITE	NO
TYPE OF CONSTRUCTION	III
STORIES	1
OCCUPANCY CLASS	R-3
FLOOD ZONE	AE

DESIGNER NOTES TO CONTRACTORS AND SUBCONTRACTORS:
The Designer/Engineer mentioned in the title block of these documents intends for them to be accurate, offering licensed professionals clear information. Every effort has been exerted to prevent errors. Prior to commencing any work, the builder and all subcontractors are required to thoroughly review all the information contained within these documents. The Designer/Engineer is not accountable for any plan errors, omissions, or misinterpretations that go unnoticed and unreported to the Designer/Engineer before construction begins. All construction must strictly adhere to the information provided in these documents. If you have any questions regarding the information within these plans, please contact our office at (954) 348-2223 immediately. Backcharges will only be considered for reimbursement by the Designer/Engineer if advanced notification and approval by the Designer/Engineer are obtained. Payments will be made in accordance with the terms of the agreement.



1 LOCATION MAP
SCALE: NOT TO SCALE

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY:

ON THE DATE ADJACENT TO THE SEAL

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THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

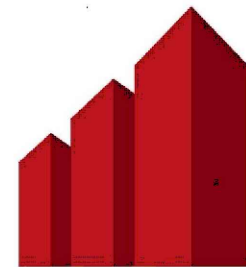
THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G10-11.011, F.A.C.

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S-1	STRUCTURAL PLAN
S-2	STRUCTURAL PLAN
S-4	STRUCTURAL PLAN

ABBREVIATIONS

A.B.	Anchor Bolt	CJ	Control Joint	Elec.	Electrical	G.C.	General Contractor	Mas.	Masonry	PLF	Pounds per linear foot	Shwr.	Shower	Vert.	Vertical
Abv	Above	Col.	Column	Elev.	Elevation	G.F.M.	Ground Fault Interrupter	Max.	Maximum	PSF	Pounds per square foot	SHT	Sheet	VTR.	Vent through roof
A/C	Air-Conditioner	Comm.	Community	EERO	Emergency Exit Rescue Opening	GT	Girder Truss	MC	Medicine Cabinet	PT	Pressure Treated	S.V.	Side Light	W	Washer
A.F.F.	Above Finished Floor	Comp.	Compressor	Ext.	Exterior	Hdr.	Header	Mfgr.	Manufacturer	Pwd.	Powder Room	S.P.F	Spruce Pine Fir	w/	With
A.H.U.	Air Handler Unit	D	Dryer	Exp.	Expansion	Hgt.	Height	Micro.	Microwave	P.P	Pre-Wire	Sq.	Square	WC	Water Closet
BF	Bifold Door	DB	Door Bell	FBC	Florida Building Code	H.H	Hand Held	Min.	Minimum	RA	Return Air	S.Y.P.	Southern Yellow Pine	W.A.	Wedge Anchor
Bk Sh	Book Shelf	Dec.	Decorative	FC	Filled Cell	HB	Hose Bib	ML	Microlam	Rad.	Radius	TB	Towel Bar	Wd	Wood
BLW	Below	Dbi.	Double	FFE	Finished Floor Elevation	HS	Hard Surface Floor	Mir.	Mirror	Rec.	Recessed	Temp.	Tempered	WDW	Window
Bm.	Beam	Dia.	Diameter	F.G.	Fixed Glass	Int.	Interior	Mono.	Monolithic	Ref.	Refrigerator	T.O.B.	Top of Block	WIC	Walk in Closet
Bot.	Bottom	Disp.	Distance	Flr.	Floor	K/Wall	Kneewall	NTS	Not to scale	Req'd	Required	T.O.M.	Top of Masonry	WM	Wall Mounted
B.P.	Bypass Door	DMF	Decorative Masonry Finish	Fdn.	Foundation	KS	Knee Space	Opn	Opening	Rm.	Room	T.O.P.	Top of Plate	WP	Water Proof
BRG.	Bearing	D.V.	Diverter Valve (Plumbing)	F.O.M.	Face of Masonry	Laun.	Laundry	Opt	Optional	Rnd.	Round	Typ.	Typical	WWM/F	Welded Wire Mesh/Fiber
C	Carpet	DV	Dryer Vent	Ft.	Foot/Feet	Lav.	Lavatory	Pc.	Piece	SD	Smoke Detector	U.C.	Under Counter		
CL	Coach Light	DW	Dishwasher	Ftg.	Footing	LL	Lintel Length	Ped.	Pedestal	Sqft	Square Feet	U.C.L.	Under Cabinet Lighting		
Cir.	Circle	Ea.	Each	FIX	Fixed	LSC	Life Safety Code	PH	Phone	SGD	Sliding Door	U.N.O.	Unless noted otherwise		
Clg.	Ceiling	E.W.	Each Way	Galv.	Galvanized	LT	Laundry Tub	PL	Parallam	Sh.	Shelves	BRG.	Shower Valves		

FIRM:



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DBE/MBE Certified

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SEAL

SIGNATURE

11/13/2024

CLIENT
MICHELLE MATHE

PROJECT NAME
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PROJECT ADDRESS
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DRAWING TITLE
GENERAL NOTES

DRAWN BY
VM

CHECKED BY
JR

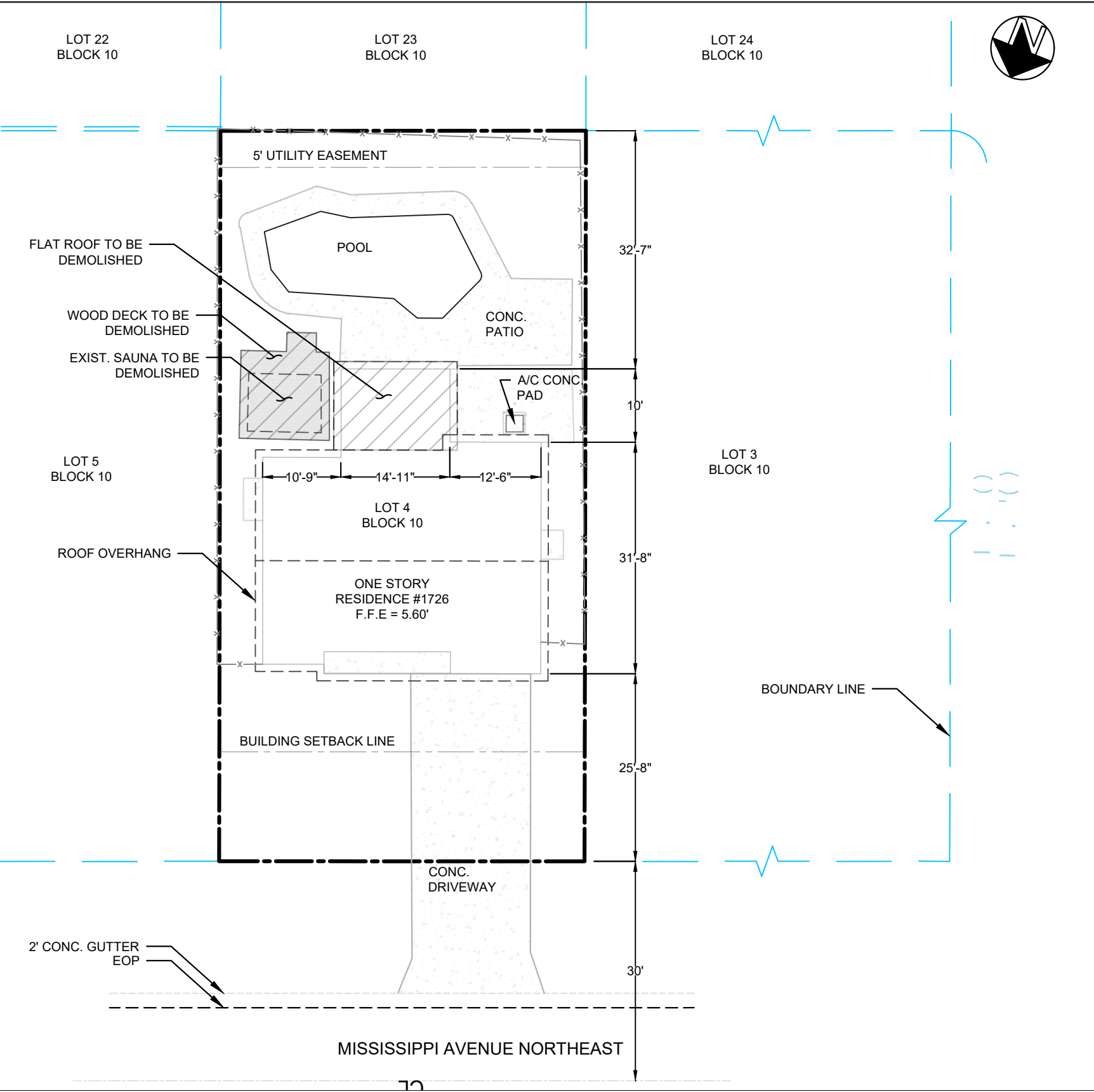
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REVISIONS

#	DATE	DESCRIPTION

SHEET

GN-1



1 EXISTING SITE PLAN
SCALE: 1:200

- LEGEND:**
- x—x— FENCE
 - - - PROP. LINE
 - DEMOLITION


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DRAWING TITLE	EXISTING SITE PLAN
DRAWN BY	JR
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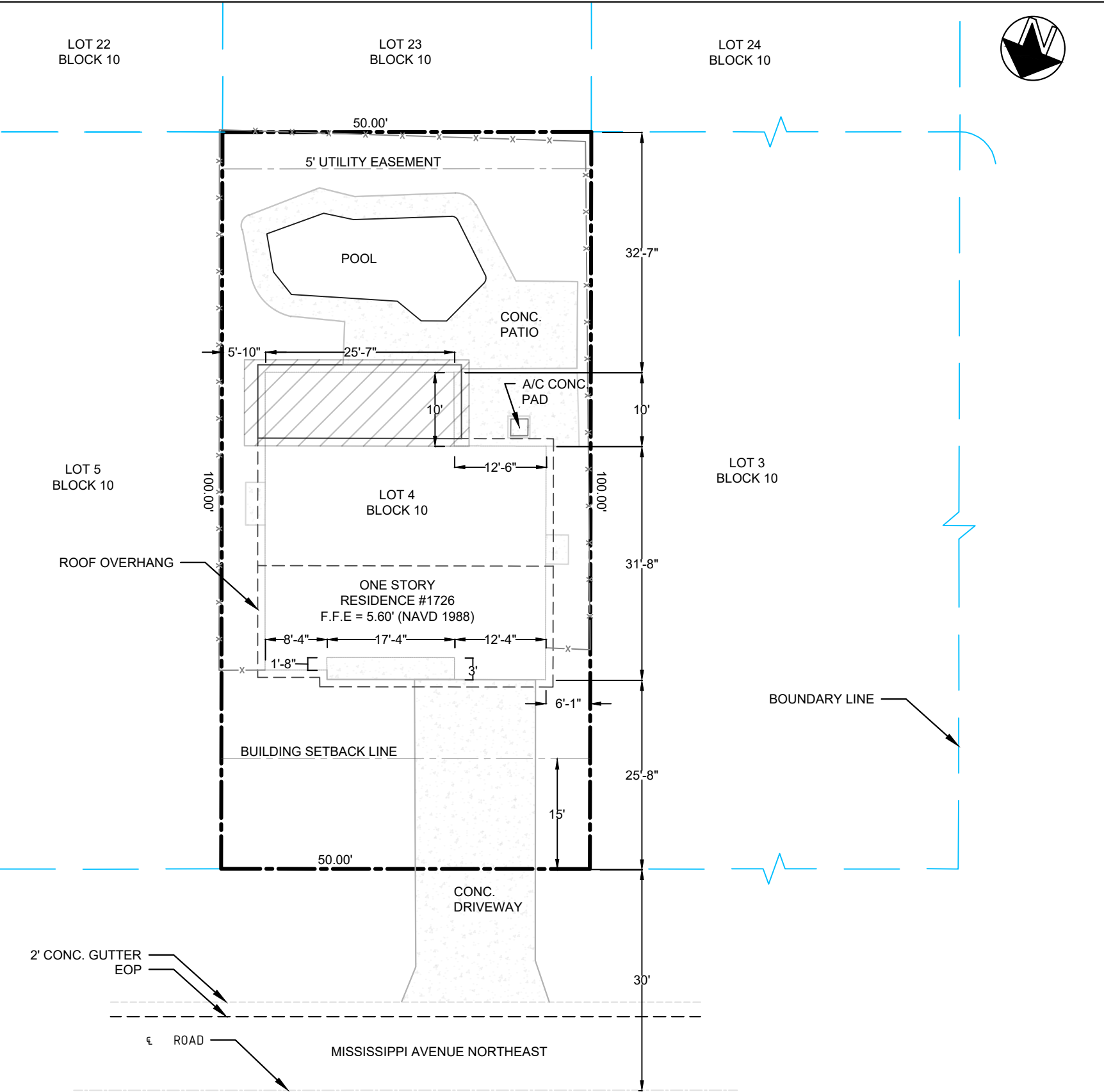
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SHEET
SP-1

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1 SITE PLAN
SCALE: 1:200

FLOOD INFORMATION	
FLOOD ZONE	AE
FLOOD MAP	12103C

EXISTING AREA CALCULATIONS	
AREA	SQUARE FOOTAGE (SQF)
LIVING AREA	818
GARAGE AREA (NO A/C)	276
OTHERS (NO A/C)	234
TOTAL SQUARE FOOTAGE	1,328

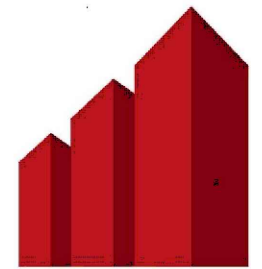
PROPOSED AREA CALCULATIONS	
AREA	SQUARE FOOTAGE (SQF)
LIVING AREA	1,074
GARAGE AREA (NO A/C)	276
OTHERS (NO A/C)	234
TOTAL SQUARE FOOTAGE	1,584

IMPERVIOUS AREA	
AREA	SQUARE FOOTAGE (SQF)
DRIVEWAY	722
PATIO	663
ROOF	1,614

LEGEND:

- x-x- FENCE
- - - PROP. LINE
- WORK AREA (ADDITION)

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DRAWING TITLE SITE PLAN

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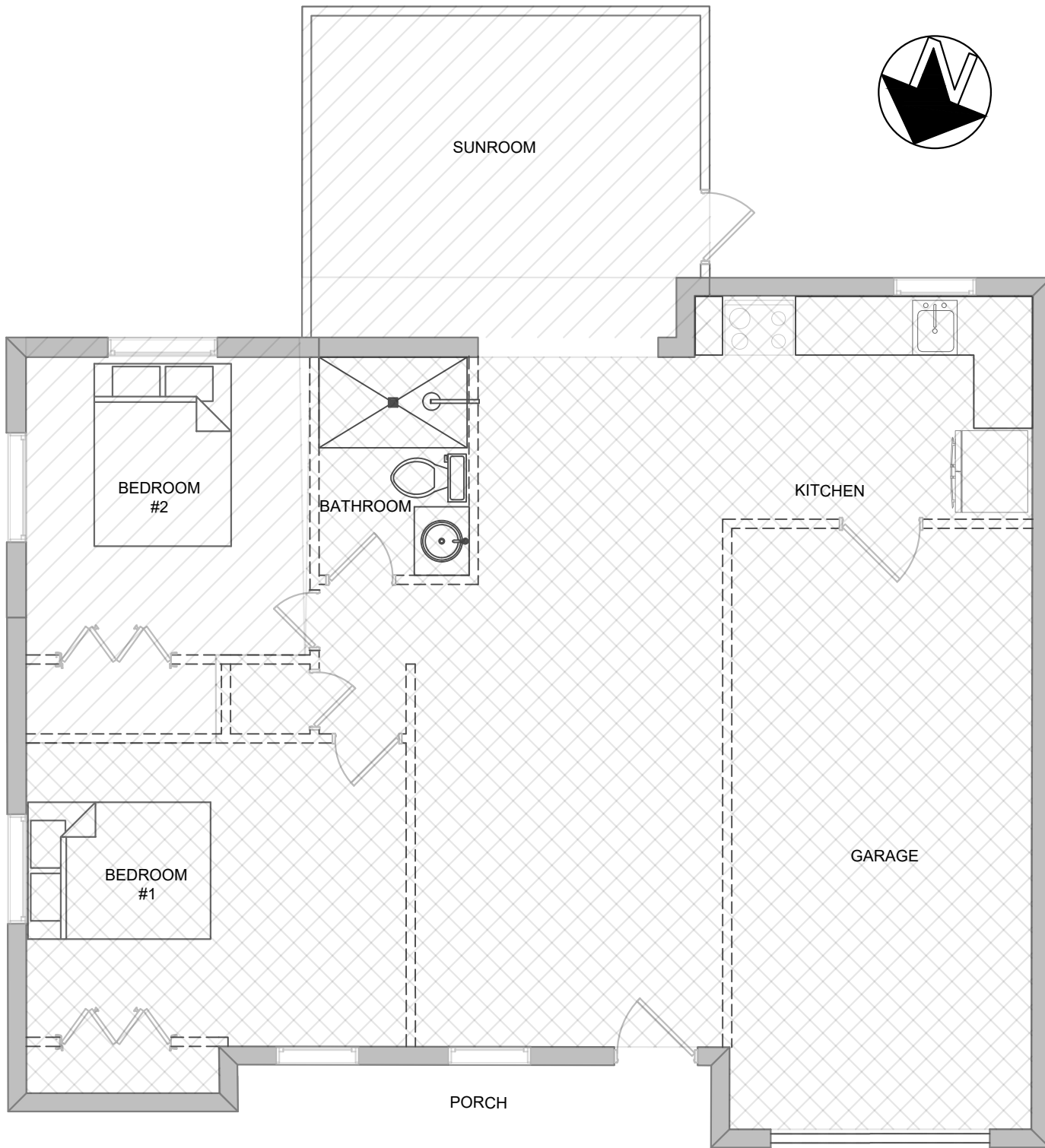
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SP-2



1 **EXISTING FLOOR PLAN**
SCALE: 3/16" = 1'

DEMOLITION GENERAL NOTES:

- A. ALL DEMOLITION WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 8TH EDITION (2023) OF THE FLORIDA RESIDENTIAL BUILDING CODE. WHERE MORE STRINGENT CODES ARE ADOPTED, THEY SHALL GOVERN THE WORK.
- B. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION. THE GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN WHAT'S IN THE FIELD AND WHAT IS REFLECTED IN THE DRAWINGS.
- C. CONTRACTOR SHALL UPGRADE, RELOCATE, REROUTE, AND/OR RECONNECT ALL ELECTRIC, PLUMBING, GAS, CABLE, PHONE, OR OTHER UTILITIES, AND SERVICES AS REQUIRED FOR NEW CONSTRUCTION/ADDITION.
- D. ALL ELECTRICITY, MECHANICAL, AND PLUMBING CONDUITS SHALL BE DISCONNECTED BY A LICENSED CONTRACTOR PRIOR TO INITIATING THE DEMOLITION PROCESS. ALL CONNECTION SHALL BE REINSTATED ONLY AFTER FINAL INSPECTION IS APPROVED OR AS DIRECTED BY THE AHJ DURING INSPECTION PROCESS.
- E. CONTRACTOR SHALL PROTECT ALL APPLIANCES DURING THE DEMOLITION PROCESS AND CONSTRUCTION. PROTECTION SHALL BE REMOVED ONLY AFTER FINAL INSPECTION IS APPROVED BY THE AHJ.
- F. ALL EXISTING INTERIOR WALLS SHALL BE PATCHED AND PREPARED AS REQUIRED TO PROVIDE SMOOTH SURFACE.
- G. THE CONTRACTOR SHALL PROVIDE TEMPORARY WALL SHORING TO RESIST VERTICAL AND LATERAL LOADS DURING CONSTRUCTION. IF REQUIRED BY THE AHJ, ENGAGE A STRUCTURAL ENGINEER TO DESIGN THE SHORING/BRACING SYSTEM AND JOINT OR CONNECTION DETAILS.
- H. CLEARLY MARK THE AREA LIMITS OF DEMOLITION, CUTTING AND PATCHING. IF FEASIBLE, PRE-CUT THE LINE OF SEPARATION BETWEEN AREAS OF DEMOLITION AND AREAS TO BE PRESERVED.
- I. PROVIDE PROTECTION OF ALL WORK FROM ADVERSE WEATHER CONDITIONS. WHERE OPENINGS ARE CREATED IN ROOF OR EXTERIOR WALLS, PROVIDE TEMPORARY ENCLOSURE OF SUCH OPENINGS ON A DAILY BASIS, AND WHENEVER ADVERSE WEATHER THREATENS OR EXISTS.

LEGEND	
	DEMOLITION (*)
	NO WORK IN THIS AREA

* CONTRACTOR SHALL DEMOLISH ALL EXISTING AND UNPERMITTED AREAS AND BUILDING ELEMENTS INCLUDING WALLS, ROOF UNDERLAYMENT, SHEATHING, TRUSSES, JOISTS, AND CONNECTIONS.

FLOOR PLAN NOTES:

- 1. INTERIOR DIMENSIONS IN BATHROOMS AND KITCHENS ARE TAKEN FROM FACE OF GWB TO COUNTERTOPS. ALL OTHER DIMENSIONS ARE TAKEN FROM STUD OR CMU FACE.
- 2. IF NOT OTHERWISE ILLUSTRATED, COORDINATE ALL FLOORING FINISHES AND FLOORING TRANSITIONS WITH THE OWNER.
- 3. KITCHEN BAR TOPS: FRAME WALLS BELOW BAR TOPS TO +/- 3/4" HIGH, SO THE BAR IS LEVEL WITH THE COUNTERTOP AND NOT RAISED (VERIFY THE COUNTERTOP THICKNESS AND ADJUST THE HEIGHT ACCORDINGLY). OUTDOOR FLOOR SURFACES EXPOSED TO WEATHER: SLOPE 2% OR 1/8" PER FOOT MINIMUM, UNLESS NOTED OTHERWISE.
 - A. SHOWER FLOOR: FIRST FLOOR SHALL HAVE 4" CURB.
 - B. TILED OR WET WALLS: USE WATER-RESISTANT TILE BACKER BOARD OR DENSIFIELD FOR A STRONG, WATER-DURABLE TILE BASE FOR FLOORS, WALLS, TUB AND SHOWER AREAS.
- 4. DRYER VENT: PROVIDE DRYER BOX AND ROUTE VENT PIPE UP THROUGH ROOF OR THROUGH SIDEWALL TO EXTERIOR.
- 5. BATHROOM EXHAUST FANS AND KITCHEN COOKTOP EXHAUST HOOD SHALL BE ROUTED THROUGH ROOF OR THROUGH SIDEWALL TO EXTERIOR. TERMINATION INTO ATTIC OR SOFFITS IS NOT ACCEPTABLE.
- 6. AIR CONDITIONER: HEATING AND COOLING SYSTEM MUST BE DESIGNED AND ENGINEERED FOR OPTIMAL ENERGY EFFICIENCY BY A LICENSED HVAC CONTRACTOR OR ENGINEER.
- 7. GARAGES:
 - A. OPENING PROTECTION: ANY OPENING (DOORWAY) BETWEEN THE GARAGE AND THE RESIDENCE SHALL HAVE DOORS OF SOLID WOOD (1 3/8" MIN. THICK), SOLID OR HONEYCOMB STEEL DOORS (-13/8" MIN. THICK) OR 20 MINUTE FIRE-RATED DOORS WITH SPRING HINGES OR OTHER SELF-CLOSING DEVICE.
 - B. SEPARATION: THE GARAGE MUST BE SEPARATED FROM THE RESIDENCE IN THE ATTIC AREA BY GYPSUM BOARD (1/2" MIN. THICK) APPLIED TO THE GARAGE SIDE.
 - C. HABITABLE ROOMS ABOVE GARAGES: MUST BE SEPARATED BY 5/8" THICK (MIN.) TYPE X GYPSUM BOARD OR EQUIVALENT. IF THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY 1/2" THICK (MIN.) GYPSUM BOARD OR EQUIVALENT.
- 8. WRITTEN DIMENSIONS GOVERN. THE BUILDER SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE DESIGN PROFESSIONAL IN THE EVENT OF ANY CONFLICT PRIOR TO PROCEEDING WITH THE WORK.
- 9. DO NOT SCALE THE DRAWINGS TO OBTAIN REQUIRED DIMENSIONS.
- 10. TYPICAL DIMENSIONS ARE TO THE FACE OF CMU WALLS AND OUTSIDE FACE OF STUDS, UNLESS OTHERWISE NOTED.
- 11. ANGLED WALLS ARE 45 DEGREES, UNLESS OTHERWISE NOTED. IF DIMENSIONS FOR DOOR OPENINGS ARE ABSENT, THEN THEY ARE EITHER CENTERED OR 4" AWAY FROM THE CLOSEST CORNER. DOUBLE TO ENSURE THAT DOOR OPENINGS HAVE THE PROPER CLEARANCE NEEDED FOR THE CASINGS AND ADJUST THE DOOR OPENING PLACEMENT ACCORDINGLY.

WALL LEGEND

	CMU WALL CONSTRUCTION
	CMU BLOCK FILLED CELL W/ MORTAR
	4" STUD - 1/2" GWB EACH SIDE
	6" STUD - 1/2" GWB (INT), INSULATION EXT. SHEATHING & TEXTURE (EXT.)
	EXISTING WALL

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DRAWING TITLE EXISTING FLOOR PLAN

DRAWN BY VM

CHECKED BY JR

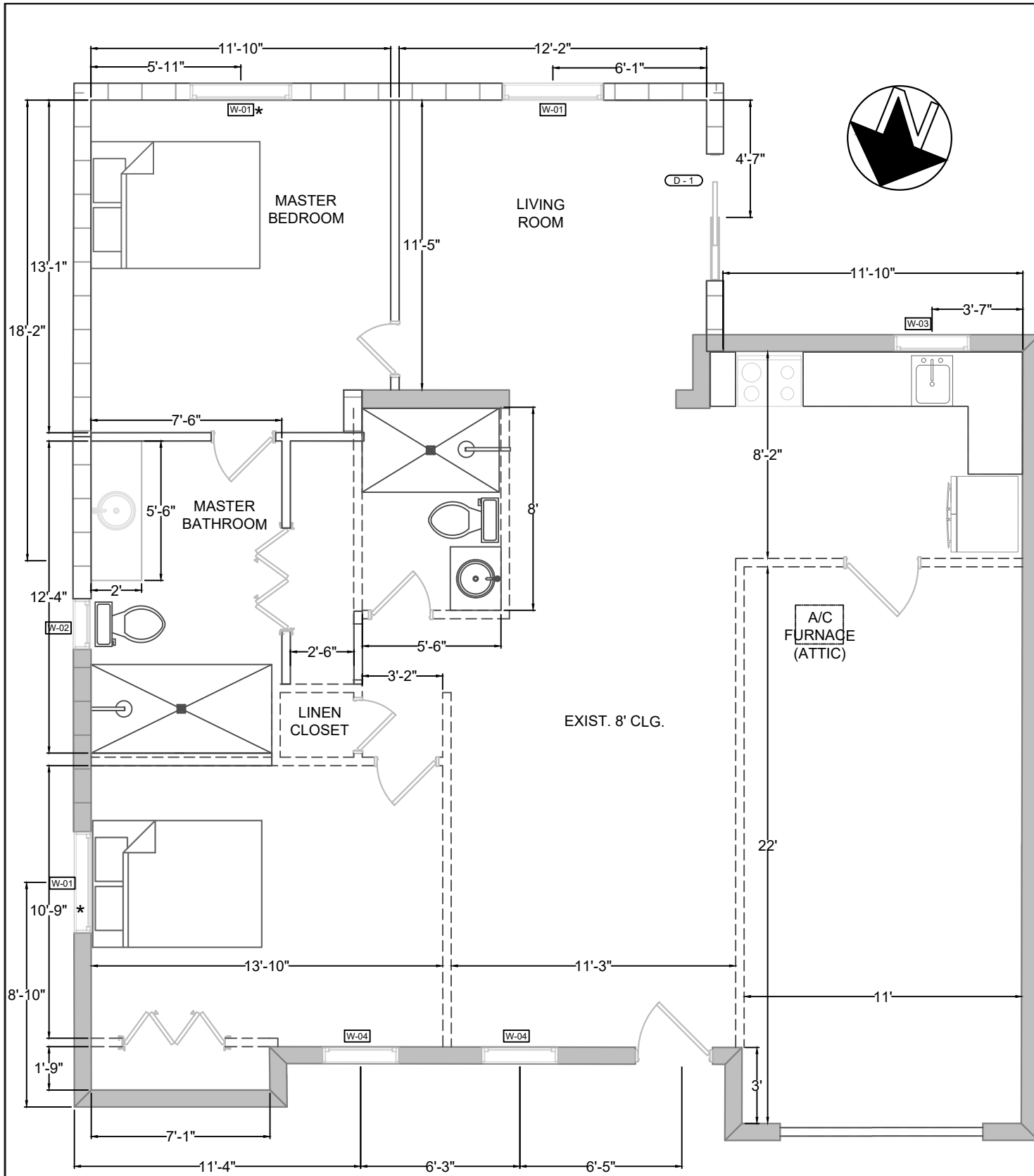
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REVISIONS

#	DATE	DESCRIPTION

SHEET
A-2

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 33703-Michelle Mathe\arctn\A-2 EXISTING FLOOR PLAN.dwg PLOT DATE: 11/13/2024 3:47:02 PM



1 FLOOR PLAN
SCALE: 3/16" = 1'

FLOOR PLAN NOTES:

- INTERIOR DIMENSIONS IN BATHROOMS AND KITCHENS ARE TAKEN FROM FACE OF GWB TO COUNTERTOPS. ALL OTHER DIMENSIONS ARE TAKEN FROM STUD OR CMU FACE.
- IF NOT OTHERWISE ILLUSTRATED, COORDINATE ALL FLOORING FINISHES AND FLOORING TRANSITIONS WITH THE OWNER.
- KITCHEN BAR TOPS: FRAME WALLS BELOW BAR TOPS TO +/- 3/4" HIGH, SO THE BAR IS LEVEL WITH THE COUNTERTOP AND NOT RAISED (VERIFY THE COUNTERTOP THICKNESS AND ADJUST THE HEIGHT ACCORDINGLY). OUTDOOR FLOOR SURFACES EXPOSED TO WEATHER: SLOPE 2% OR 1/8" PER FOOT MINIMUM, UNLESS NOTED OTHERWISE.
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- THE GLASS SHOWER PARTITION SHALL BE TEMPERED SAFETY GLASS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE REQUIREMENTS FOR SAFETY GLAZING IN HAZARDOUS LOCATIONS (SECTION 2406). ALL GLASS USED IN SHOWER ENCLOSURES SHALL BE FULLY TEMPERED TO MEET IMPACT RESISTANCE STANDARDS.

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REVISIONS

#	DATE	DESCRIPTION

Door schedule

TAG	Type	Size	Remarks
D-1	SLIDING GLASS DOOR	60" x 80"	

Window schedule

TAG	Type	Size	Remarks
W-01	SINGLE HUNG	36"x48"	* DENOTES EMERGENCY ESCAPE & RESCUE OPENING
W-02	SINGLE HUNG	24"x36"	* DENOTES EMERGENCY ESCAPE & RESCUE OPENING
W-03	FIXED	36"x36"	
W-04	SINGLE HUNG	48"x60"	

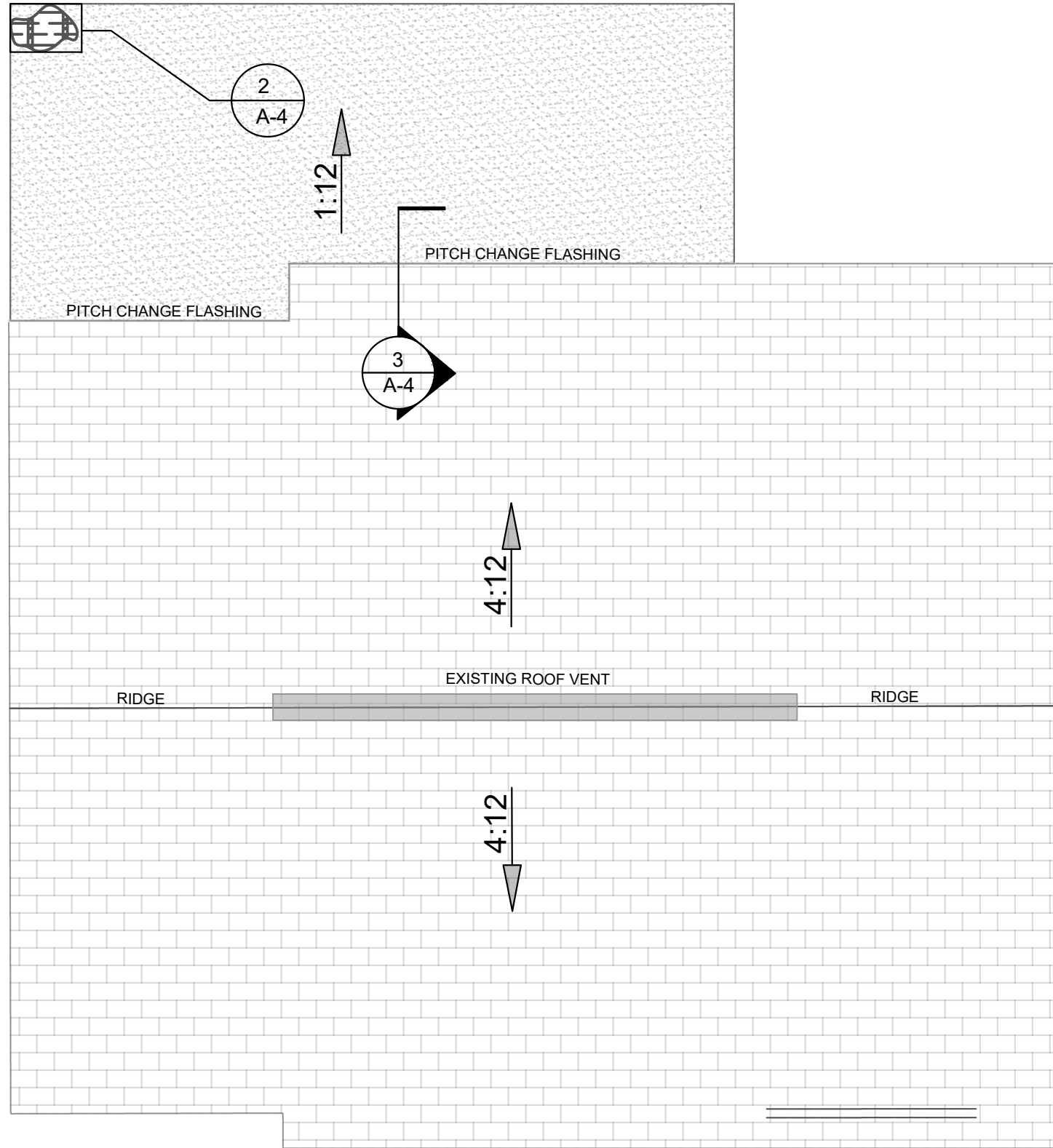
WALL LEGEND

- CMU WALL CONSTRUCTION
- CMU BLOCK FILLED CELL W/ MORTAR
- 4" STUD - 1/2" GWB EACH SIDE
- 6" STUD - 1/2" GWB (INT), INSULATION EXT. SHEATHING & TEXTURE (EXT.)
- EXISTING WALL

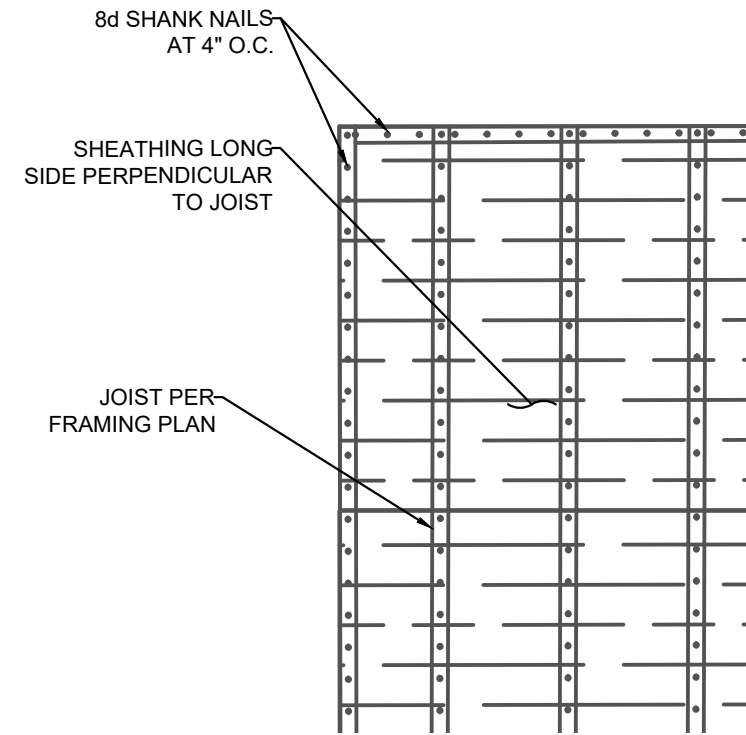
SHEET

A-3

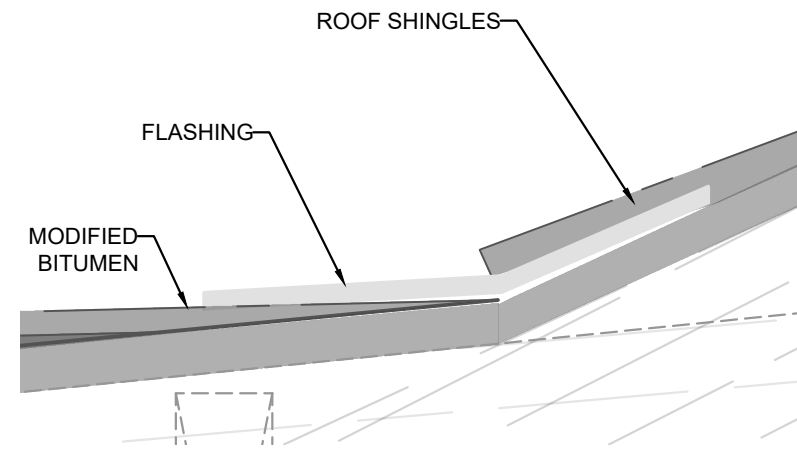
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1 **ROOF PLAN**
SCALE: 3/16" = 1'

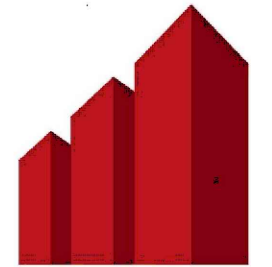


2 **ROOF SHEATHING DETAIL**
SCALE: NTS



3 **ROOF FLASHING DETAIL**
SCALE: NTS

FIRM:



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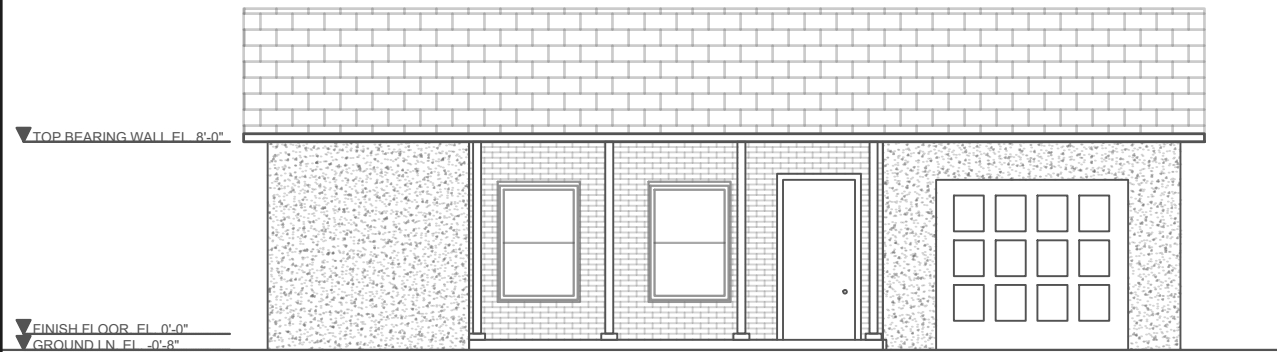
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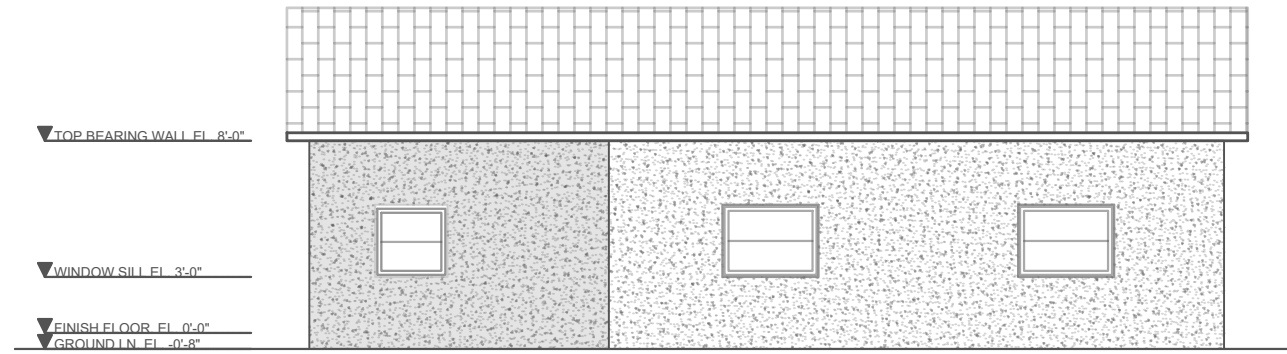
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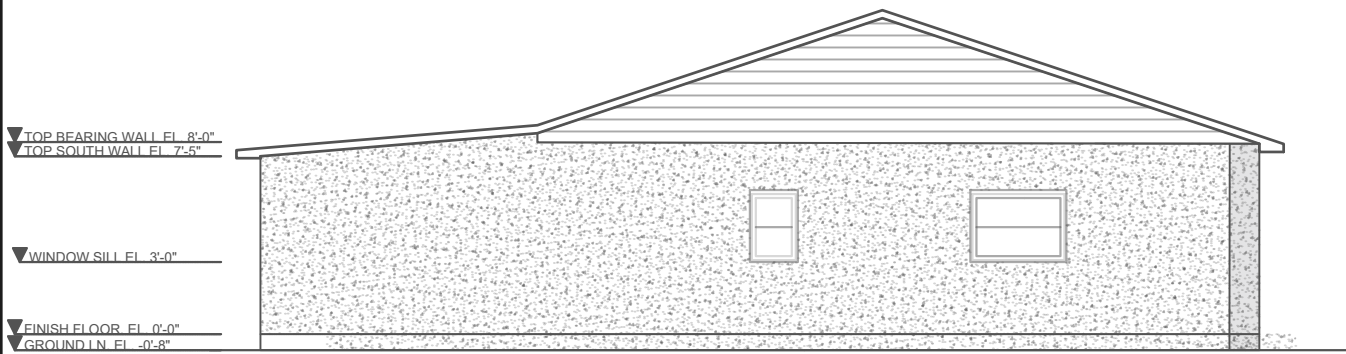
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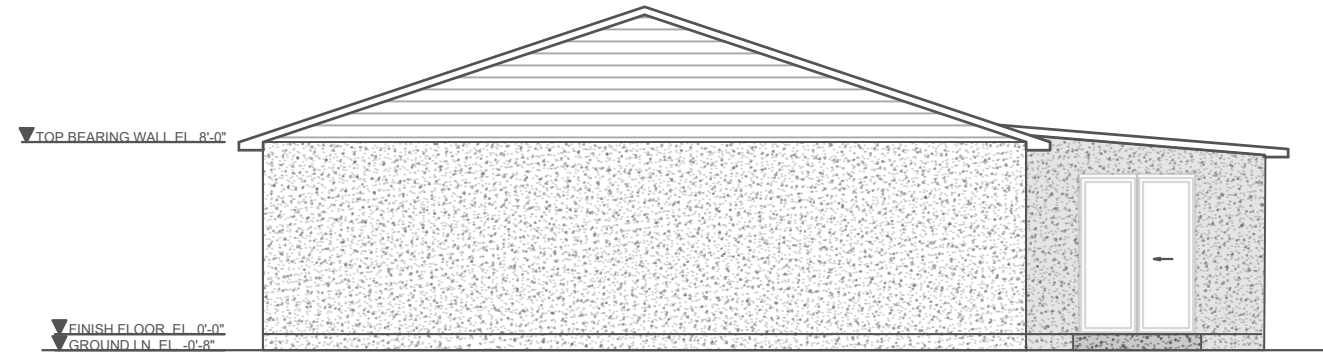
1 NORTH ELEVATION
SCALE: 1/8" = 1'



2 SOUTH ELEVATION
SCALE: 1/8" = 1'

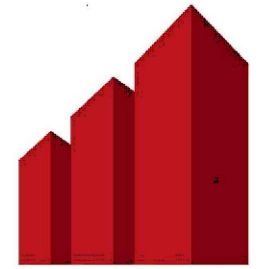


3 EAST ELEVATION
SCALE: 1/8" = 1'



4 WEST ELEVATION
SCALE: 1/8" = 1'

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11/13/2024

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PROJECT NAME
RESIDENTIAL ADDITION

PROJECT ADDRESS
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DRAWING TITLE ELEVATION PLAN

DRAWN BY VM

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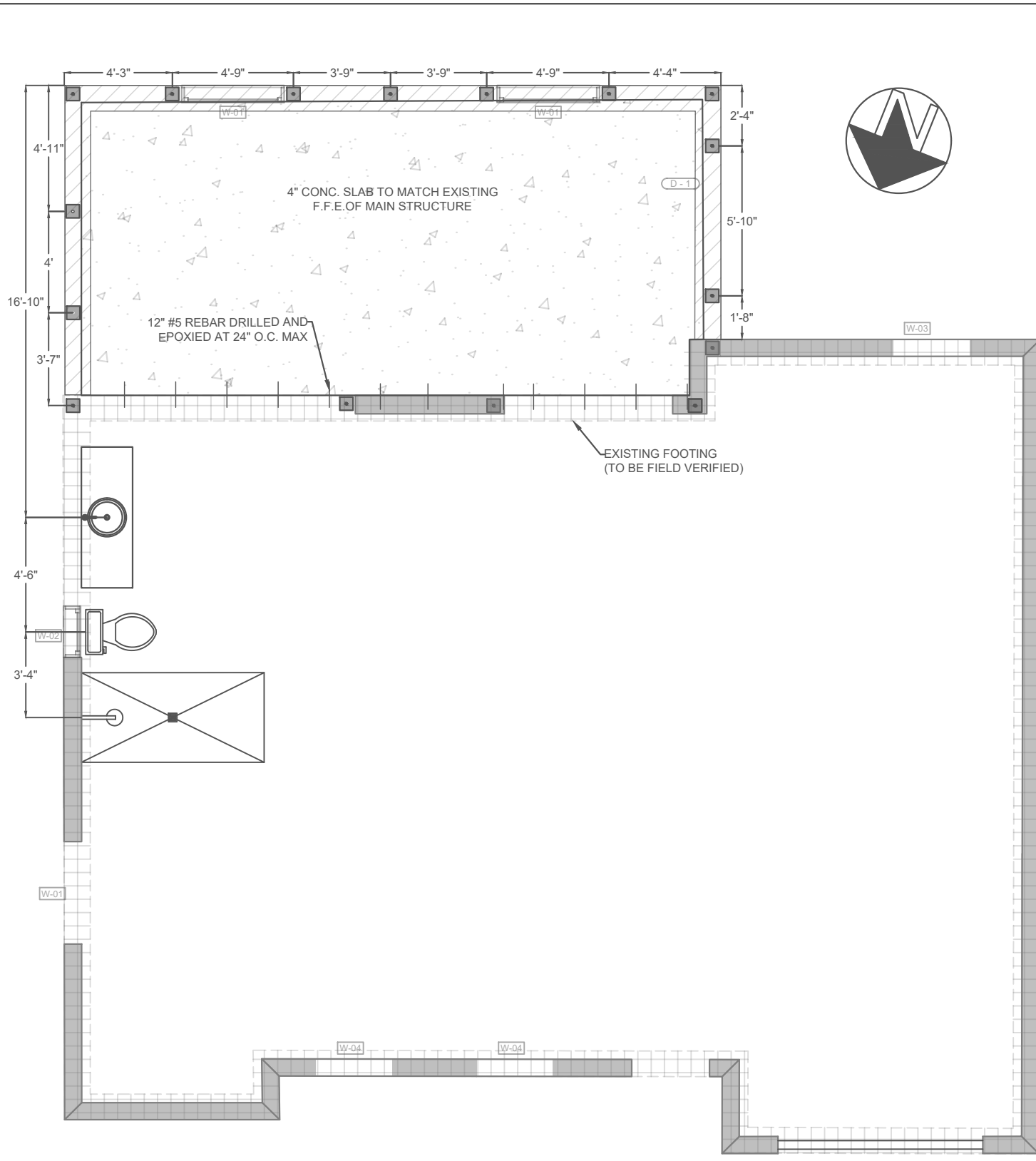
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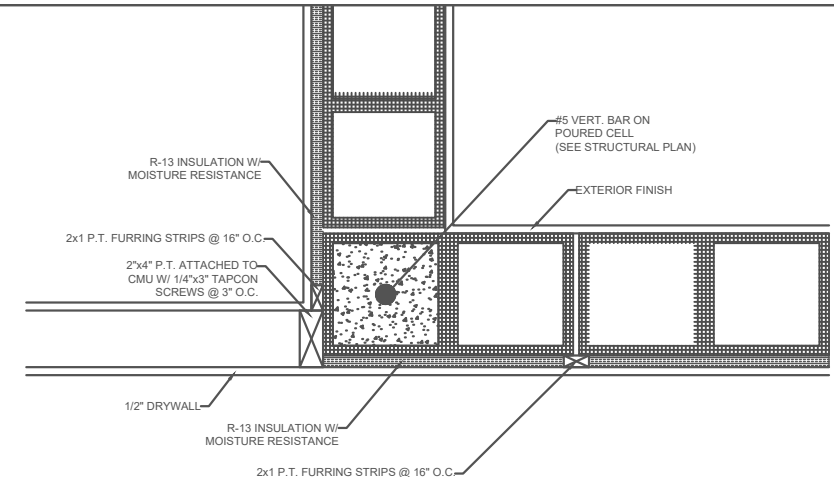
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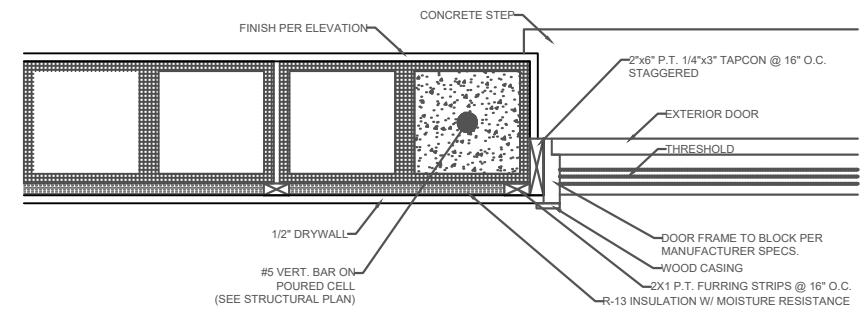
1 FOUNDATION PLAN
SCALE: 3/16" = 1'



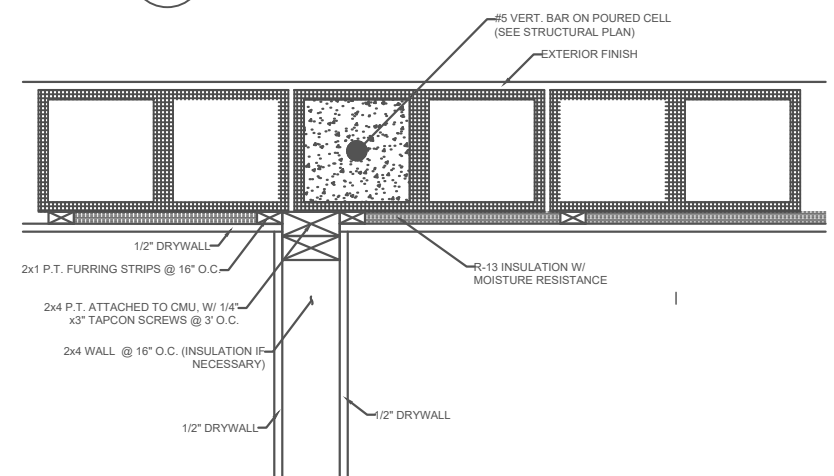
LEGEND:
 FILLED CELL
 PROPOSED FOOTING (SEE SECTION 2/S2)



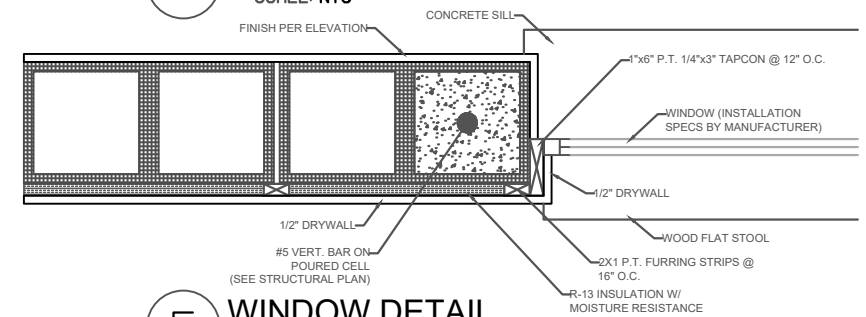
2 CORNER FRAMING DETAIL
SCALE: NTS



3 EXTERIOR DOOR DETAIL
SCALE: NTS



4 T-CORNER FRAMING DETAIL
SCALE: NTS



5 WINDOW DETAIL
SCALE: NTS

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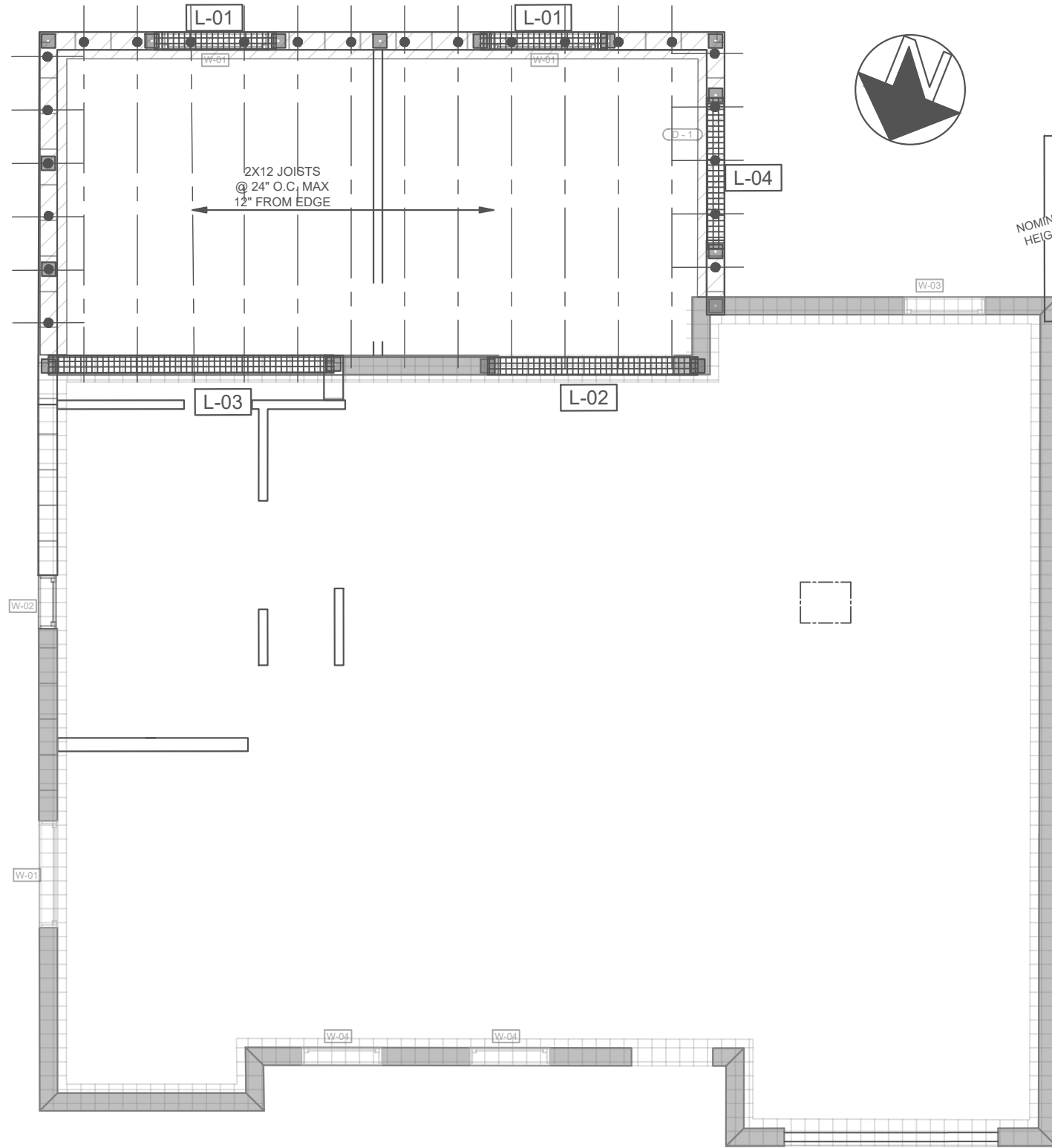
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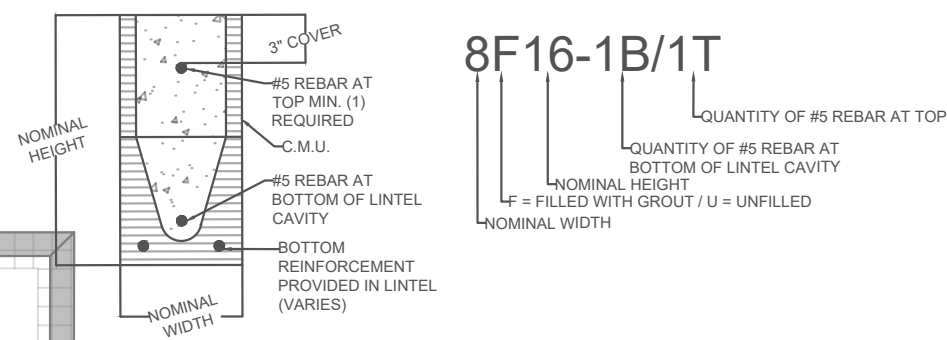


1 **LINTEL PLAN**
SCALE: 3/16" = 1'

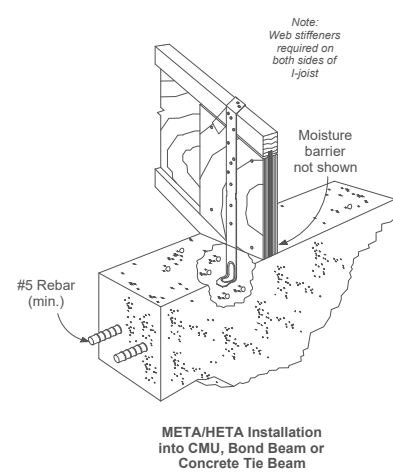
- LEGEND:**
- FILLED CELL
 - LINTEL
 - META16 ANCHOR (SEE CONNECTION DETAIL)

LINTEL SCHEDULE (CAST-CRETE)			
TAG	TYPE	OVERALL LENGTH	ROUGH OPENING
L-01	8F8-1B	4'-8"	4'-0"
L-02	8F20-1B	7'-4"	6'-8"
L-03	8F20-1B	10'-8"	10'-0"
L-04	8F8-1B	5'-8"	5'-0"

- LINTEL GENERAL NOTES:**
- AREA OF BLOCK ABOVE MASONRY OPENINGS ARE TO BE GROUTED SOLID TO TIE BEAM.
 - (1) #5 REBAR IN TIE BEAM IS TO BE CONTINUOUS THROUGH OUT INCLUDING ABOVE MASONRY OPENINGS.
 - ALL STANDARD LINTELS TO HAVE MIN. 4" BEARING AT EACH END.
 - PLACE 4" CMU CAP COURSE ON TOP OF LINTEL FOR TRANSOM WINDOW SILL HEIGHT. REFER TO ELEVATIONS FOR LEVELS.
- MATERIALS:**
- f_c PRECAST LINTELS = 3500 psi
 - f_c PRESTRESSED LINTELS = 6000 psi.
 - f_c GROUT = 3000 psi w/ MAXIMUM 3/8" AGGREGATE.
 - CONCRETE MASONRY UNIT (CMU) PER ASTM C90 W/ MINIMUM NET AREA COMPRESSIVE STRENGTH = 1900 psi.
 - FIELD REBAR ASTM A615 GR40 OR GR60
 - PRESTRESSING STRAND PER ASTM A416 GRADE 270 LOW RELAXATION.
 - 7/32" WIRE PER ASTM A510.
 - MORTAR PER ASTM C270 TYPE M OR S.
- REBAR PROVIDED IN PRECAST LINTEL PER ASTM A615 GR60



3 **LINTEL DETAIL**
SCALE: NTS



2 **META CONNECTION DETAIL**
SCALE: NTS

META16 CONNECTION DETAIL
UPLIFT = 1,450 LBS

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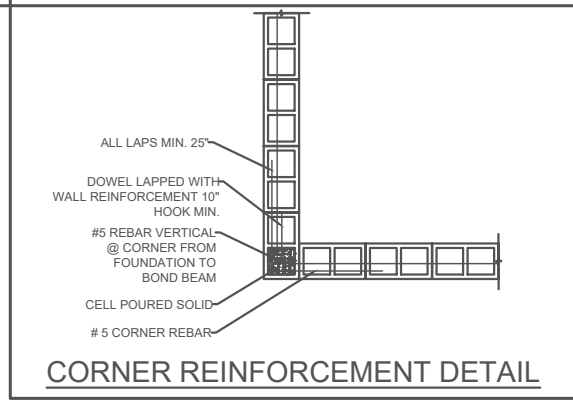
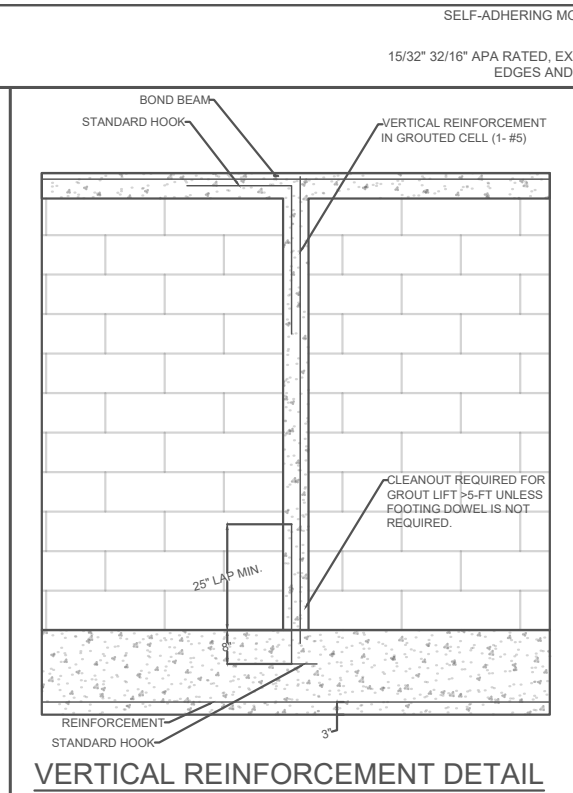
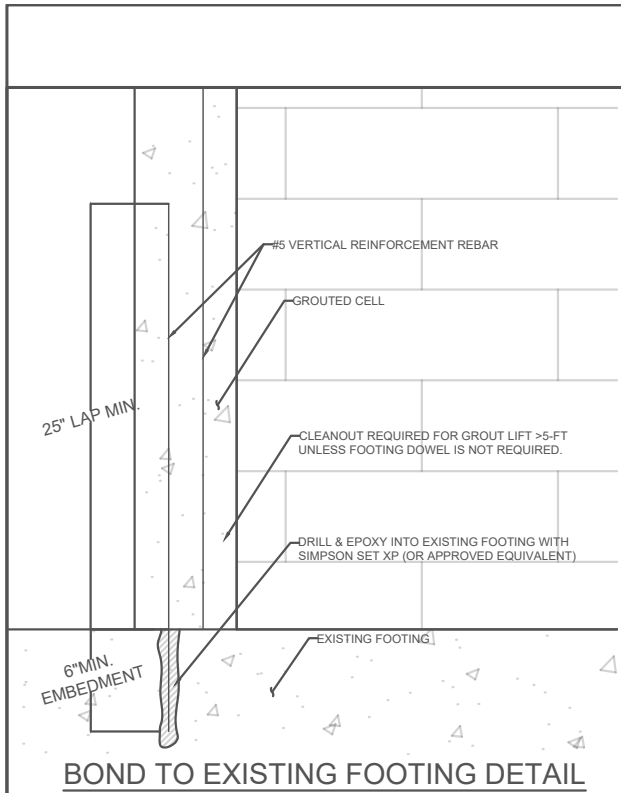
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FLOOR AND ROOF LIVE LOADS

Uninhabitable Attics:	20 psf
Bedrooms, Habitable Attics:	30 psf
All Other Rooms and Garage:	40 psf
Roofs:	20 psf

(Balcony and deck live loads are 150% of the adjacent space served.)

WIND DESIGN DATA

Ultimate Wind Speed:	150 mph
Nominal (Basic) Wind Speed:	116 mph

Risk Category: II
 Wind Exposure: B
 Enclosure Classification: Enclosed
 End Zone Width (a): 4.00 ft.
 Internal Pressure Coefficient: 0.18 +/-
 Roof Type: Hip
 Roof Slope: 1 in 12
 Mean Roof Height: 8 ft.

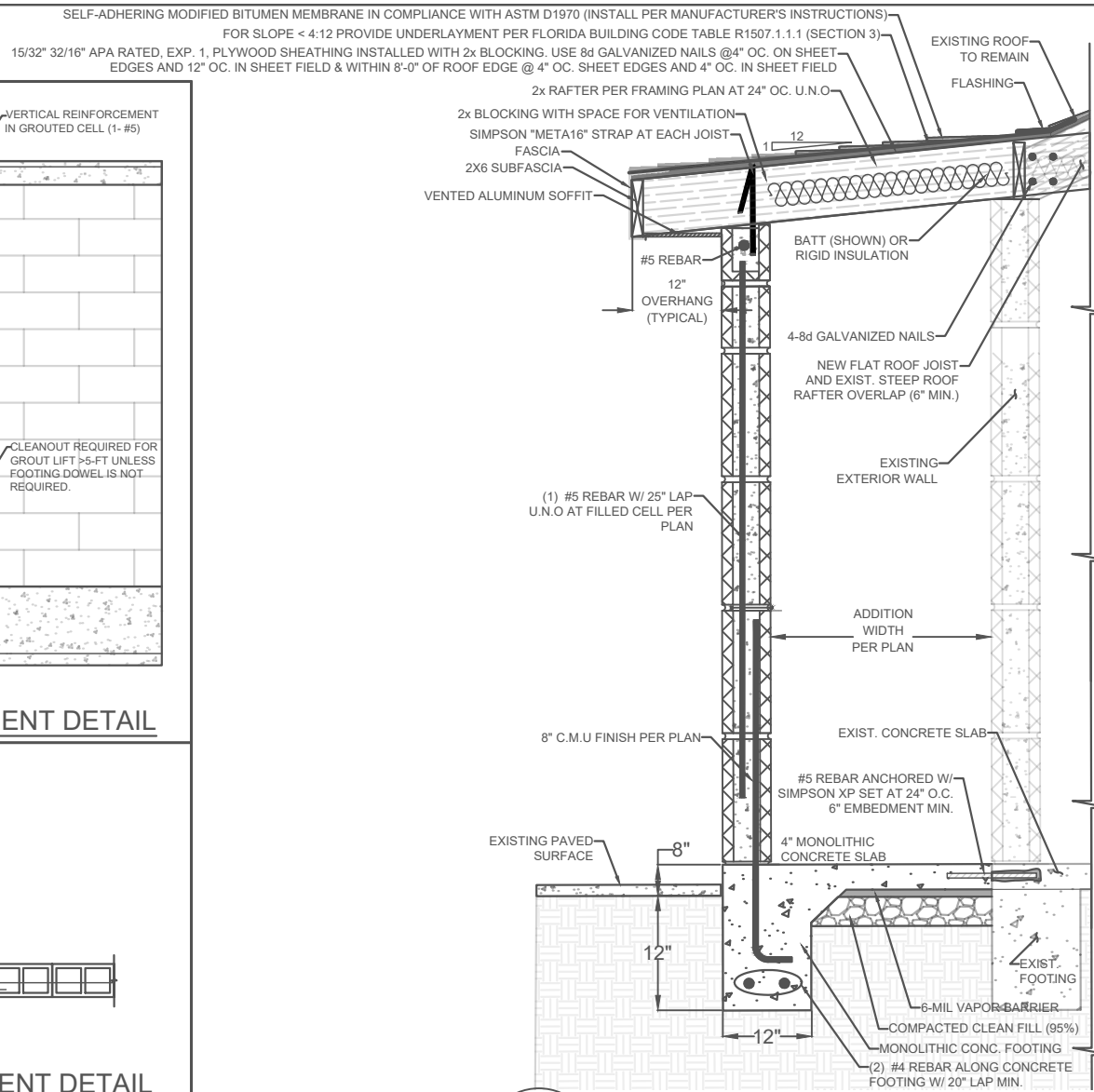
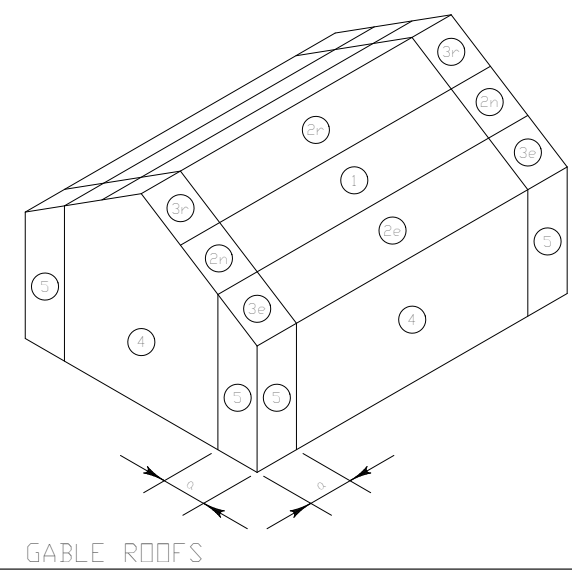
COMPONENTS AND CLADDING

Roofing:	
Roof Zone 1:	+20.1 psf max., -61.6 psf min.
Roof Zone 2e:	+20.1 psf max., -61.6 psf min.
Roof Zone 2r:	+20.1 psf max., -89.9 psf min.
Roof Zone 3:	+20.1 psf max., -89.9 psf min.
Overhang at Roof Zone 1:	-70.4 psf min.
Overhang at Roof Zone 2e:	-70.4 psf min.
Overhang at Roof Zone 2r:	-98.5 psf min.
Overhang at Roof Zone 3:	-135.0 psf min.
Wall Zone 4:	+33.2 psf max., -36.2 psf min.
Wall Zone 5:	+33.2 psf max., -44.7 psf min.

The Nominal Wind Speed was used to determine these Component and Cladding Pressures.
 All exterior glazed openings shall be protected from wind-borne debris as per Sect. 1609.12 of the 2020 Florida Building Code.
 The masonry walls are the shear-resistance elements.

Assumed Design Soil Bearing Capacity: 2,000 psf

Flood Zone: AE



2 EXTERIOR WALL TYPICAL SECTION
SCALE: NTS

- FOUNDATION NOTES:**
- FOUNDATION IS DESIGNED BASED ON PRESUMPTIVE SAFE MINIMUM ALLOWABLE SOIL BEARING PREASURE OF 2,000 PSF. THE CONTRACTOR SHALL VERIFY THAT THE BEARING CAPACITY OF 2,000 PSF IS PRESENT PRIOR TO FOOTING PLACEMENT.
 - ALL FILL SHALL BE CLEAN AND COMPACTED TO 95% BY HEAVY VIBRATORY ROLLER IN MAXIMUM LIFTS OF 8". CONFORM TO ASTM D 1557.
 - GRADING, SOIL PREPARATION AND FOUNDATION CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF GEOTECHNICAL REPORT AND THE BUILDING CODES NOTED ON THIS SHEET.
 - FOOTING BACKFILL AND UTILITY TRENCH BACKFILL WITHIN BUILDING AREA SHALL BE MECHANICALLY COMPACTED IN LAYERS PER GEOTECHNICAL REPORT. FLOODING WILL NOT BE PERMITTED.
 - ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED.
 - PROVIDE MIN. 6 MIL. APPROVED VAPOR BARRIER. ALL JOINTS TO BE LAPPED MIN. 6" AND SEALED

- CONCRETE NOTES:**
- CONCRETE SHALL CONFORM TO THE "BUILDING REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318 LATEST EDITION) WITH MODIFICATIONS AS NOTED IN THE DRAWINGS AND SPECIFICATIONS.
 - DESIGN BASED ON 2,500 psi, 28-DAY STRENGTH, UNLESS OTHERWISE NOTED.
 - PROTECTION COVER (CLEAR) SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE.
 - CONCRETE PLACED DIRECTLY AGAINST EARTH - 3 INCHES CLEAR.
 - STRUCTURAL SLABS ON GROUND - 1-1/2 INCHES CLEAR
 - FORMED CONCRETE WITH EARTH BACKFILL - 2 INCHES CLEAR
 - WWM USED IN SLABS SHALL BE FULLY SUPPORTED USING CHAIR APPROVED BY THE MANUFACTURER IN THE MIDDLE TO UPPER 1/3 OF SLAB AT 3-FT SPACING OR IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
 - PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT.
 - CONCRETE PLACEMENT SHALL BE PER RECOMMENDATIONS IN ACI 614, ACI 301, ACI 318, & ACI 332.
 - SLABS ARE DESIGN AS UNREINFORCED PLAIN CONCRETE SLABS ON GROUND.
 - ONE OF THE FOLLOWING METHOD OF CRACK CONTROL SHALL BE USED:
 - CONTRACTION JOINTS. IF CONTRACTION JOINTS ARE USED, SHALL BE CUT OR TOOLED IN THE SLAB A MINIMUM OF 1". ALL CUTS ARE TO BE MADE WITHIN 24 HOURS OF THE CONCRETE PLACEMENT.
 - CONTRACTION JOINTS IN A 3.5" SLAB SHALL BE PLACED NO MORE THAN 8-FT APART IN BOTH DIRECTIONS
 - CONTRACTION JOINTS IN 4.0" SLAB SHALL BE PLACED NO MORE THAN 10-FT APART IN BOTH DIRECTIONS.
 - 6x6 W1.4xW1.4 WELDED WIRE REINFORCEMENT FABRIC (WWM).
 - MICRO- OR MACRO-SYNTHETIC FIBER REINFORCEMENT: FIBER LENGTH SHALL BE 1/2" TO 2-1/4" IN LENGTH. DOSAGE AMOUNTS SHALL BE FROM 0.75 TO 3.0 POUNDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SYNTHETIC FIBERS SHALL COMPLY WITH ASTM C1116. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE A CERTIFICATION OF COMPLIANCE WITH ASTM C1116 WHEN REQUESTED BY THE BUILDING OFFICIAL

- STEEL REINFORCEMENT NOTES:**
- BAR ENDS SHALL BE MADE COLD, IN STRICT ACCORDANCE WITH THE DRAWINGS AND C.R.S.I. LATEST EDITION. NO KINKS ALLOWED. SEE CHART FOR STANDARD HOOK SIZES.
 - REBAR LAP SPLICES ARE TO BE: CLASS "B". MINIMUM LAP LENGTH SHALL BE PER CHART UNLESS OTHERWISE NOTED. THE MINIMUM LAP OF WELDED WIRE FABRIC SHALL BE 6" OR ONE FULL AND HALF MESH, WHICHEVER IS GREATER.
 - FIELD WELDING OF REINFORCED BARS IS NOT PERMITTED.
 - DOWELS BETWEEN FOOTINGS SHALL BE THE SAME SIZE AND SPACING OR NUMBER AS THE HORIZONTAL REINFORCING.
 - DOWELS BETWEEN FOOTING AND WALLS OR COLUMNS SHALL BE THE SAME SIZE AND SPACING OR NUMBER AS VERTICAL REINFORCING.
 - TOLERANCE FOR REBAR DEPTH AND CONCRETE COVER IN FLEXURAL MEMBERS, WALLS, DISCONTINUOUS ENDS OF MEMBERS, AND COMPRESSION MEMBERS SHALL BE (+/-) 3/8 INCHES. TOLERANCE FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE +/- 2 INCHES.

REINFORCING STEEL MINIMUM REQUIREMENTS

BAR SIZE	MINIMUM LAP	MINIMUM BEND DIA.	MINIMUM ACI HOOK
#4	20"	3"	10"
#5	25"	3-3/4"	10"
#6	34"	4-1/2"	11"
#7	42"	5-1/4"	13"

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